



WE MAKE IT **EASY**

Commercial

PROJECT
PORTFOLIO

Why Us



Custom Designed Solutions

Every Northstar project is designed to meet the specific requirements of our clients. Standard plans may provide a starting point, but every development is tailored to suit the project's goals, site conditions, and operational needs.



We Make it Easy

From early design collaboration through final installation, our team coordinates planning, manufacturing, and delivery to simplify the construction process and keep projects moving efficiently.



30 Years of Experience

With more than three decades of industry experience and a team of over 150 skilled professionals, Northstar has the expertise and production capacity to deliver complex commercial developments.



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ABOUT **NORTHSTAR** SYSTEMBUILT

Founded in 1995, Northstar Systembuilt is a commercial modular manufacturer specializing in multi-family, hospitality, workforce housing, and public-sector developments across the Midwest and Mountain West.

Operating dual production facilities, we provide scalable manufacturing capacity designed to support multi-building and multi-state projects. Our structured production model reduces schedule volatility, improves quality consistency, and enables parallel site and factory progress.

We partner with developers, architects, engineers, general contractors, and public agencies to align design, fabrication, and installation — supporting predictable delivery from concept through close-out.



LAWRENCE SCOTT
Managing Director
lawrence.scott@northstarsb.com



DEB ROHLIK
Controller
deb.rohlik@northstarsb.com



CARLOS NUNEZ
Operations Manager
carlos.nunez@northstarsb.com



MICAH BAUNE
Account Manager
micah.baune@northstarsb.com



HEATHER GLASSCOCK
Drafting Manager
heather.glasscock@northstarsb.com



OPERATIONAL EXPERTISE

Northstar combines modular manufacturing expertise with disciplined project coordination to deliver complex commercial developments with predictable outcomes.

Northstar's team brings experience across:

- Multi-building and phased developments
- Multi-story modular construction
- Resort and remote project logistics
- Public-sector and federally regulated projects
- Climate-constrained construction schedules

Integrated production tracking and quality assurance processes help maintain schedule integrity while meeting jurisdictional and federal compliance standards.



CLAYTON HALEY
Order Processing Manager
clayton.haley@northstarsb.com



MIKE HUNTLEY
Plant Manager-Watertown
mike.huntley@northstarsb.com



LUKE OSTGAARD
Plant Manager-Redwood Falls
luke.ostgaard@northstarsb.com



JOHN ROIGER
Customer Service
john.roiger@northstarsb.com



OSCAR TUFFIN
Purchasing Manager
oscar.tuffin@northstarsb.com

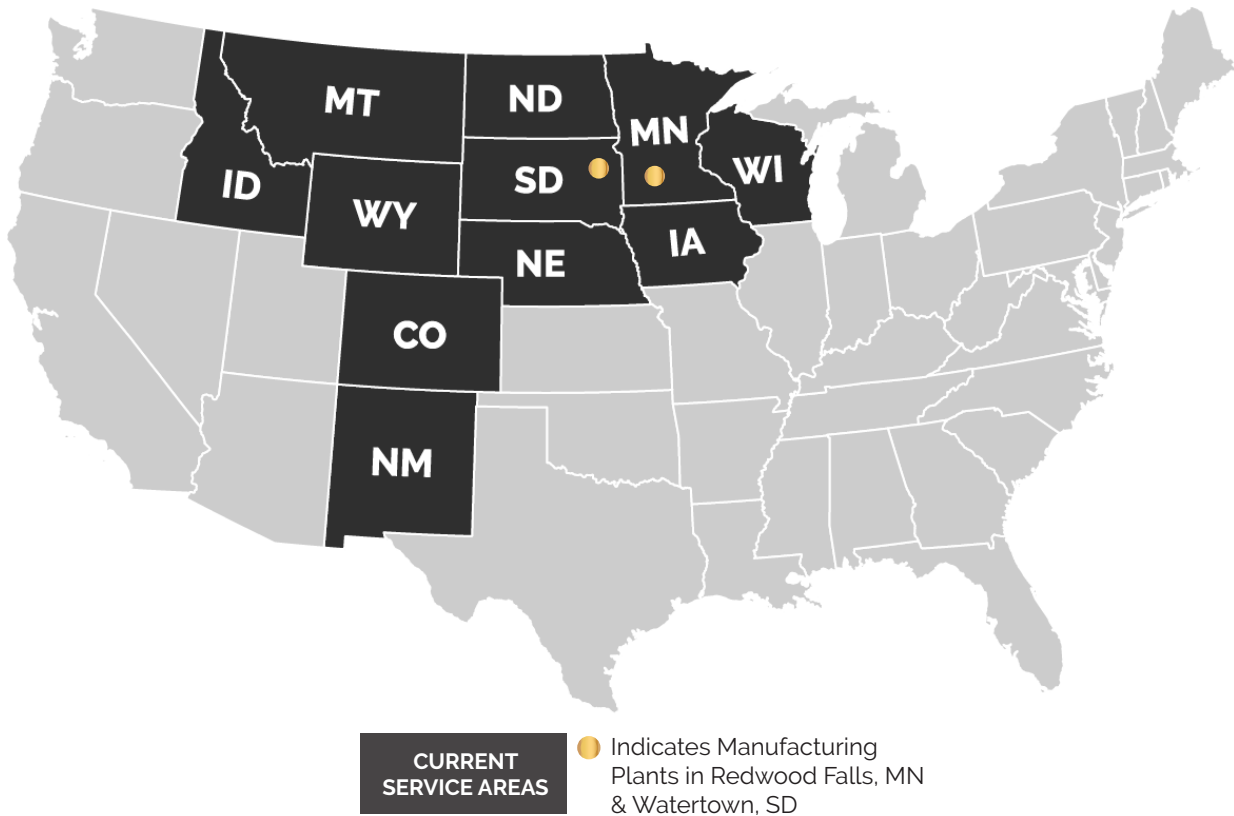


WHERE WE BUILD

Northstar serves both public and private-sector clients across urban, suburban, resort, and remote markets.

Our geographic footprint includes climate-constrained and environmentally sensitive regions where construction windows are limited and logistical coordination is critical.

By building in a controlled environment and deploying modules through planned installation sequencing, we reduce weather exposure, site congestion, and schedule uncertainty — regardless of location.



WHY CHOOSE MODULAR

Saves 20%-50% in Time
Faster = \$\$ Saved

Modular Construction Timeline



Site/Stick-Built Construction Timeline



FACILITIES AND MODULAR EXPERIENCE

Northstar delivers modular solutions across four primary commercial sectors:

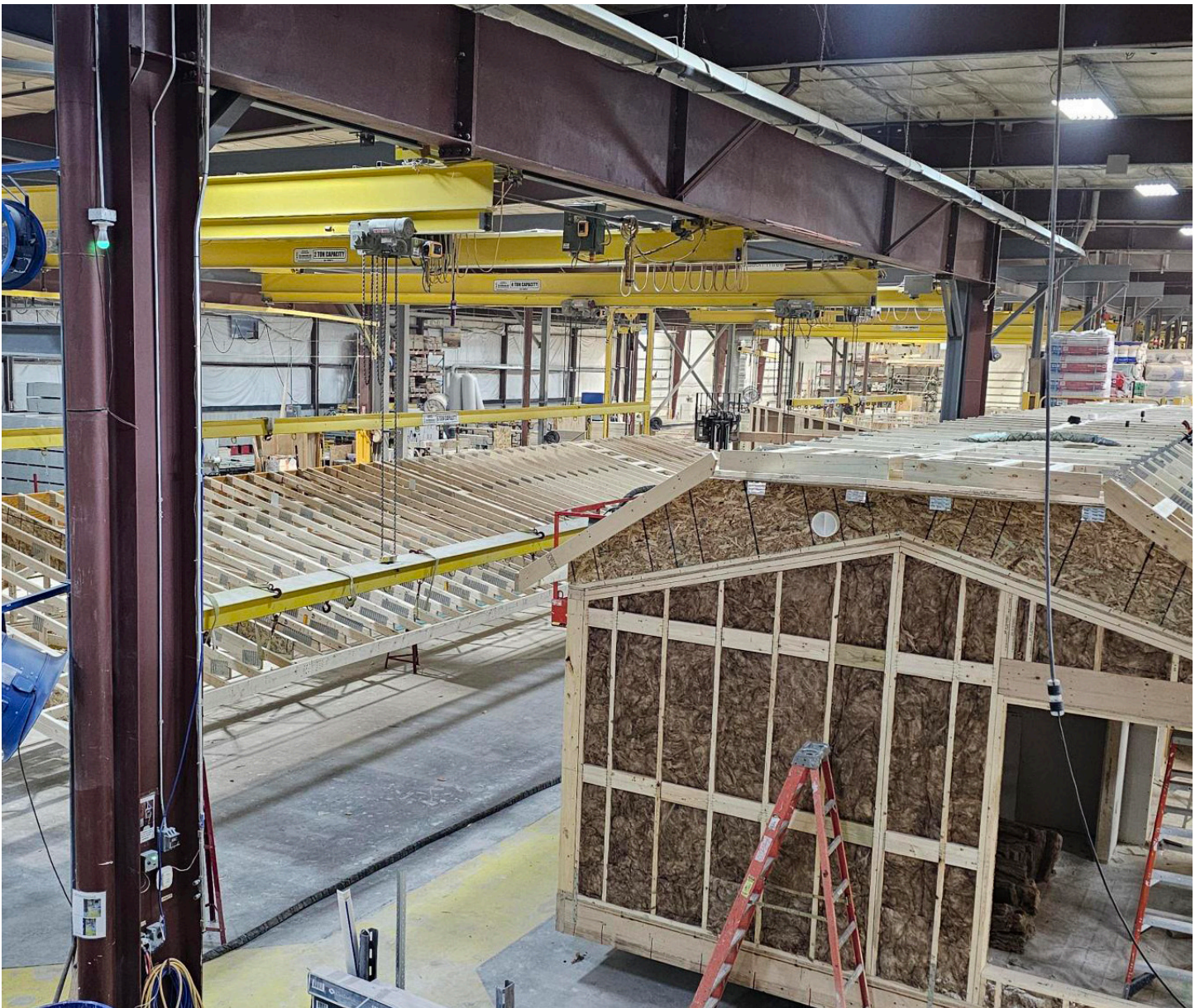
- Hospitality & Multi-Story Hotels
- Multi-Family & Mixed-Use Developments
- Workforce & Public-Sector Housing
- Community & Subdivision Rollouts

Our production facilities are engineered for throughput, quality control, and trade efficiency.

Defined workstations, inspection protocols, and structured sequencing allow modules to progress systematically through fabrication — reducing variability and improving performance consistency.

Leadership oversight, cross-functional coordination, and accountability at every stage ensure that each building leaves the factory site-ready and installation-ready.

The result is not just modular construction — but disciplined manufacturing applied to commercial development.



OUR MODULAR **ADVANTAGE**

Factory-Controlled Construction

Reduces weather delays, improves trade coordination, and enhances quality consistency.

Early Design & Budget Coordination

Aligns cost expectations and constructability before fabrication begins.

Capacity for Multi-Building & Phased Developments

Structured throughput supports scalable production across complex sites.

Dual Production Facilities

Increases flexibility and mitigates manufacturing bottlenecks.

Commitment to Schedule Integrity

Integrated production tracking and inspection protocols protect milestone delivery.



BY THE NUMBERS

Established

1995

2

Production
Facilities

11

States
Served

80+

Workforce Housing
Units in
National Parks

5K+

Modules
Delivered

170

Skilled
Employees







Hotels

Commercial Hospitality Construction with Schedule Certainty

Hospitality projects demand tight sequencing, brand compliance, and minimal disruption to surrounding operations. Northstar delivers multi-story modular hotels with a structured production model that reduces schedule volatility and improves interior consistency.

By completing guest rooms substantially off-site — including finishes, fixtures, casework, and FF&E integration — we reduce trade stacking, site congestion, and weather-related delays. This approach enables faster enclosure, accelerated interior turnover, and improved quality control across repeatable room types.

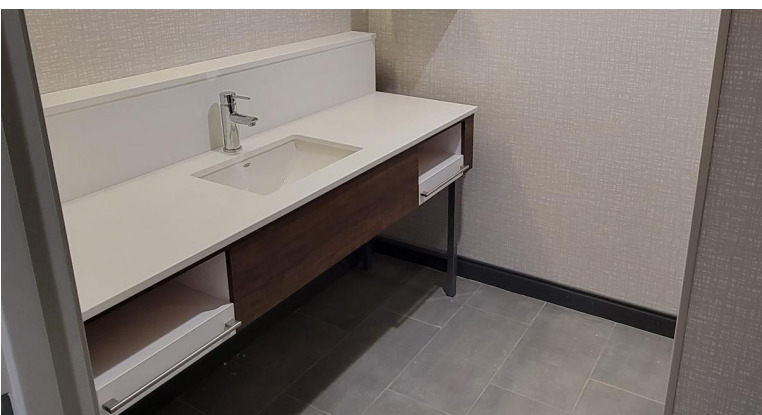
Our team works directly with ownership groups, developers, and general contractors to align structural engineering, logistics planning, and phased installation to meet franchise standards and milestone-driven delivery schedules.

Hampton Inn & Suites

Durango, CO

5 stories | 101 Rooms | 59 Modules

This dual-branded hospitality development required precise structural coordination and multi-story stacking integration. Modular fabrication allowed simultaneous site and factory progress, shortening the overall construction timeline. Factory-completed room packages improved finish consistency and reduced on-site manpower requirements.

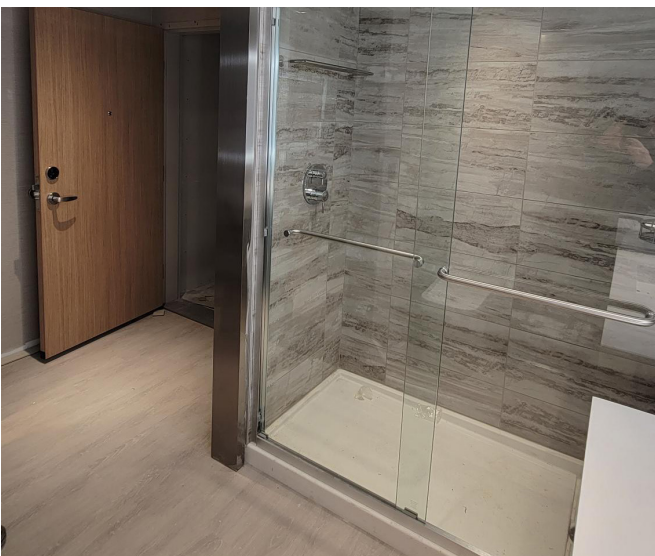
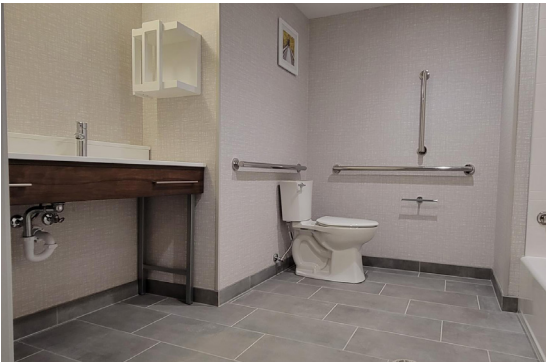


AC Marriot

Durango, CO

5 Stories | 101 Rooms | 60 Modules

Guest rooms were delivered substantially complete from the production line — including interior finishes, tiling, casework, and fixtures — minimizing field labor intensity. This strategy streamlined vertical construction sequencing and accelerated interior close-out within a constrained urban footprint.





Fairfield Inn & Suites

Montrose, CO
4 Stories | 90 Rooms | 57 Modules | 52,377 Sq Ft

This mid-rise hotel was delivered through coordinated production scheduling and structured site integration. Modular sequencing supported predictable floor stacking and reduced exposure to regional weather delays. Consistent room construction improved quality alignment with brand standards across all units.







© Diane Chodomy, Stepto Media



Apartments & Multi-Family

Scalable Modular Delivery for Density, Speed, and Coordination

Multi-family developments demand disciplined sequencing, repeatable unit fabrication, and tight coordination between trades, jurisdictions, and financing timelines. Northstar delivers modular solutions designed to reduce schedule risk, improve unit consistency, and support phased site development across urban, suburban, and resort markets.

By shifting a significant portion of construction off-site, we minimize weather exposure, reduce on-site labor congestion, and enable parallel progress between site work and vertical construction. Our structured production model supports high-density housing, multi-building rollouts, and developments requiring predictable unit replication.

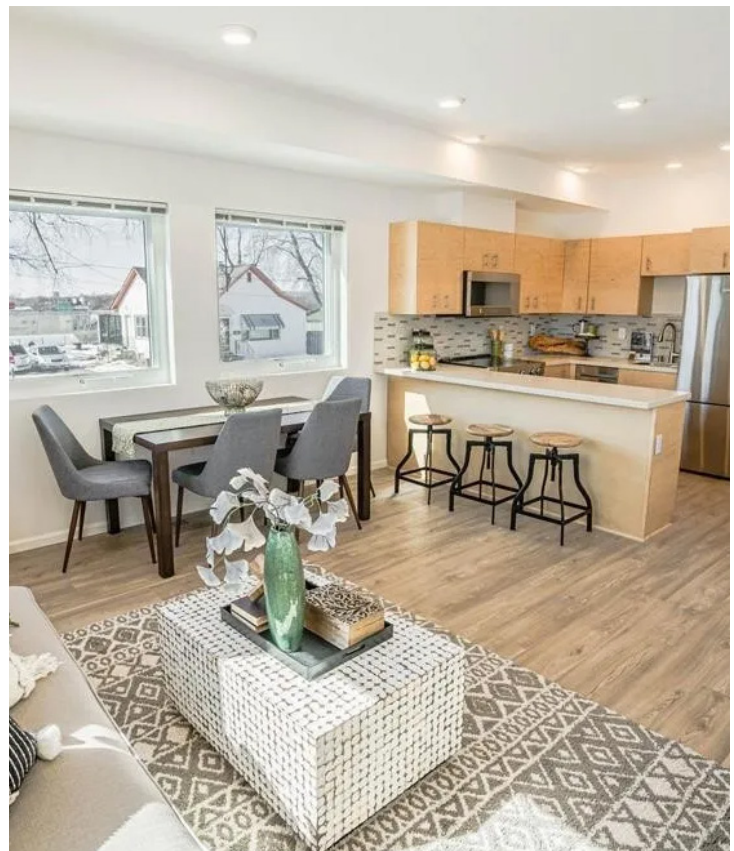
We collaborate early with developers, architects, and general contractors to align structural systems, MEP coordination, and logistics planning — ensuring modules arrive site-ready and installation sequencing supports overall project milestones.

Rivoli Street Townhomes

Saint Paul, MN

2 Buildings | (2) 3 Bedrooms | 4 Modules

This urban infill townhome project integrated modular construction with SIP panel assemblies and high-performance roofing systems to enhance building efficiency. Factory fabrication enabled precision-controlled assembly while reducing disruption within a developed neighborhood setting. Modular sequencing supported efficient installation and minimized site duration in a constrained footprint.



Lofts on 7th

Willmar, MN

12 Units | 18 Modules | 8,280 Sq Ft

1 Four-Plex | 1 Eight-Plex

Delivered in partnership with United Community Action Partnership, this project addressed regional housing demand through repeatable modular unit production. Structured fabrication allowed efficient multi-building coordination while supporting cost control and schedule predictability for a publicly supported housing initiative.



Basalt Center Circle & Midland Residence

Basalt, CO

65 Units | 54 Modules | 35,000 Sq Ft
1-3 Bedrooms

Located in a region with compressed construction seasons, this 65-unit development required disciplined schedule management and logistical coordination.

Off-site fabrication reduced weather-related delays and minimized disruption within an active community. Modular production supported repeatable unit delivery while maintaining performance and durability standards.





Capitol Street

Eagle, CO
16 Units | 18 Modules | 12,339 Sq Ft
Mixed-Use

This mixed-use commercial and residential project required vertical coordination and integration within a developing downtown environment.

Modular sequencing accelerated structural stacking and reduced on-site trade overlap, supporting efficient delivery in a weather-sensitive mountain market.





Jackson Townhomes

Homedale Drive, Jackson, MN
42 Units | 9 Buildings

This 42-unit multi-building development demonstrates Northstar's capacity to deliver affordable housing solutions at scale. Designed with energy-efficient building systems and repeatable unit layouts, the project supports long-term durability.



Estes Park Apartments

Estes Park, CO
16 Units | 24 Modules | 15,524 Sq Ft
4 Two-Story Buildings

Northstar's structured production environment enabled us to deliver this 16-unit project into an urban area with efficiency and minimal site disruption.



Village Court Apartments

Mountain Village, CO
35 Units | 2 Buildings | 74 Modules
20,540 & 21,454 Sq Ft

Constructed in a high-elevation resort community, this development required careful logistical planning and precision installation.

Factory-controlled production minimized exposure to climate-related delays and supported coordinated multi-building delivery within a constrained seasonal window.





Eagle Landing Apartments

Eagle, CO
42 Units | 12 Buildings
67 Modules | 49,950 Sq Ft

This phased, multi-building rollout required synchronized production and site integration across numerous structures.

Modular fabrication supported controlled expansion while maintaining unit consistency and reducing installation duration across the development.







Corner of Vine 8-Plex

Jackson, WY
8 Units | 10 modules | 4,477 Sq Ft
Multi-Family

Located within an established residential setting, this project required phased installation and minimal site disruption.

Modular construction allowed vertical progress while foundation and utility work progressed concurrently, shortening overall project duration.



Otter Tail County Triplexes

Dalton, MN
2 Triplexes | 8 modules | 5,376 Sq Ft
(4) 2-bedroom
(2) 1-bedroom units

Developed for the City of Dalton, this project delivered affordable housing through repeatable modular construction.

Factory-based fabrication reduced field labor demands and supported efficient delivery within a small municipal framework.



Hansen Corner Duplexes

Jackson Hole, WY
40 Modules | 10 Duplexes | 21,597 Sq Ft
1 & 2 Bedroom Units

This multi-building duplex development required coordinated urban installation and phased site sequencing.

Structured production enabled predictable module throughput and supported controlled expansion within a growing residential market.









National Parks

Modular Delivery for Remote, Regulated, and Environmentally Sensitive Projects

Projects within National Parks and public lands require precise coordination, strict regulatory compliance, and careful environmental stewardship. Construction windows are often limited by climate, access, and federal permitting requirements — leaving little room for schedule volatility.

Northstar delivers modular workforce housing, dormitories, and support buildings designed to reduce on-site duration, minimize environmental disruption, and meet federal performance standards.

By building modules off-site and coordinating logistics in advance, we reduce material staging, site congestion, and weather-related delays. Our team collaborates with public agencies, engineers, and general contractors to align installation sequencing with seasonal constraints and environmental compliance requirements.

The result: controlled, efficient deployment in locations where traditional construction introduces significant risk.

Yellowstone National Park

Yellowstone National Park, Wyoming
64 Homes | 120 modules | 66,948 Sq Ft
Workforce Housing

This large-scale workforce housing development required strict coordination with federal agencies and adherence to National Park Service standards.

Factory-controlled production minimized environmental disruption and supported precise scheduling within a harsh climate setting. Durable exterior systems were selected to withstand extreme seasonal conditions while maintaining long-term performance.





Grand Teton National Park

Moose, WY

16 Modules | Workforce Housing | 10,372 Sq Ft
4 (2) Bdrm, 2 (1) Bdrm, 3 Double Garage Units

Installed within a remote and environmentally regulated setting, this project required advanced logistics planning and phased delivery coordination.

Modular construction reduced site duration and supported installation within tight construction windows, limiting environmental impact in a highly sensitive location.







Rocky Mountain National Park

Rocky Mountain National Park, CO
25 Modules | 19,960 Sq Ft
Dormitories, Triplex & Residential Support Building
(6) 1 Bdrm. (4) 2 Bdrm.

This mixed-use housing development required integration of multiple building types within a constrained seasonal schedule.

Off-site production enabled simultaneous progress on foundations and module fabrication, accelerating overall project delivery. Coordinated logistics were essential to reduce disruption within the Park and meet strict operational requirements.









Supportive & Public Housing

Modular Solutions for Supportive and Public Housing

Supportive and public housing developments require reliable delivery, disciplined cost management, and long-term durability. These projects often involve public funding, regulatory oversight, and coordination with local agencies and community organizations.

Northstar provides modular housing solutions designed to meet these complex requirements while accelerating project timelines. By shifting a significant portion of construction off-site, we reduce weather exposure, improve quality control, and support predictable installation schedules.

Our team works closely with municipalities, housing authorities, and development partners to deliver efficient, durable housing that supports community needs and long-term occupancy.

Shwayder Camp

Idaho Springs, CO
10 Modules | 5 Buildings
Summer Camp Cabins

Located at over 10,000 feet elevation, this seasonal camp project required simplified site logistics and durable exterior assemblies suited to alpine conditions.

Modular fabrication reduced on-site construction exposure in a high-altitude environment and enabled efficient transport to a complex mountain location.







Space to Create

Grand Lake, CO
9 Units | 13 Modules | 7,387 Sq Ft
Studios & Two-Bedrooms

Located in a mountain community with limited construction windows, this mixed-unit development leveraged modular fabrication to accelerate installation and maintain quality consistency across varied layouts.



Silver Bow

Butte, MT

4 Units | 7 Modules | 3,033 Sq Ft
Supportive Housing

Developed for Butte-Silver Bow County, this 4-plex provides transitional housing through durable, efficiently delivered modular construction. Factory-controlled production supported disciplined cost management and predictable delivery timelines – key requirements in publicly funded housing initiatives.







Housing Developments

Scalable Production for Phased Residential Rollouts

Subdivision and community-scale housing developments require disciplined production planning, repeatable model execution, and alignment between infrastructure timelines and vertical construction.

Northstar supports developers with structured modular manufacturing designed to maintain consistent output across multi-lot projects. Our moving production line enables predictable unit throughput while site work progresses in parallel.

By coordinating foundation readiness, utility installation, and delivery sequencing, we help reduce lot cycle times and improve overall development velocity — critical in markets where absorption rates and financing schedules drive return on investment.

Our approach supports:

- Phased neighborhood expansion
- Workforce and attainable housing communities
- Resort-market subdivisions
- Tribal and rural housing initiatives
- Production-scale residential rollout

Gypsum, CO

75+ Homes
Housing Sub-Division

Located within a growing residential corridor, this subdivision required alignment between infrastructure readiness and vertical installation.

Modular production supported consistent home delivery while foundations and utility work progressed in parallel, reducing overall cycle time per lot and enabling controlled neighborhood expansion.







Granby Ranch

Granby Ranch, CO
15+ Homes | Residential Development

This phased mountain community required repeatable home production within a seasonal construction window.

Factory fabrication reduced weather exposure and supported steady output across multiple lots, allowing the developer to maintain predictable release schedules and manage market absorption strategically.



Oglala Housing

Pine Ridge, SD
21 Homes | Housing Development

Delivered in partnership with a tribal housing initiative, this 21-home development required coordinated rollout and reliable production sequencing.

Modular construction supported efficient multi-home deployment while maintaining cost discipline and durable performance standards suited to regional climate conditions.



OUR TESTIMONIALS

At Northstar Systembuilt, we are committed to delivering projects that meet the highest standards of quality, reliability, and partnership. While no project is without challenges, our priority is always to address issues quickly, communicate openly, and ensure our clients' long-term success. We believe strong projects are built on strong relationships.

The following testimonials reflect the experiences of clients who have partnered with Northstar on developments across a range of markets.

KYLE S.
– YELLOWSTONE NATIONAL PARK

"Northstar Systembuilt excels at putting their customers first and ensuring the end product meets the customer's needs. The quality of product is superb.

They're a very welcoming business from the moment we started the process, until completion. They happily invited us to the factory during production and ensured all of our needs were addressed. For our 65-home development they had no problem ramping up production and were easily able to deliver the modular homes needed within our tight timeframes. The way they manage their factory production schedule is quite impressive!

Most importantly they helped deliver housing to our park that will have a lasting impact on our employees and also ensure we can continue to deliver a world class visitor experience to our guests.

If the opportunity arises again, we would gladly do business with them again."

AIDE F.
– LOUISVILLE, CO

"You've generally gone above and beyond our expectations in your professionalism. And Northstar has proven that they are willing to go to great lengths to customize homes. We sincerely appreciate you.

Thank you!"

MITCH H.
– OTTER TAIL COUNTY, MN

"I wanted to let you all know how much your work on this project is appreciated by myself and everyone else involved. It couldn't have gone smoother, and all that credit goes to you guys and your teams. We went from groundbreaking to our first tenants occupying in almost exactly 5 months, which is impressive. The open house was a great success, and we received a lot of positive feedback. I will be keeping in touch as more opportunities arise in the future."

SOME OF OUR CLIENTS



- Yellowstone National Park
- Rocky Mountain National Park
- Grand Teton National Park



Next Steps



Get in Touch

Phone: 800 844 9845
Email: sales@northstarsb.com



Visit our Website

Visit www.northstarsb.com to explore our commercial development projects



Visit Us

Corporate office: 203 Industrial Dr, Redwood Falls, MN 56283

Watertown office: 715 21st St SW, Watertown, SD 57201



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Customized designs. Tailored Solutions.

Commercial Modular Construction for Hospitality, Multi-Family,
Workforce Housing and Community Developments.

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